



HARTEL REALTY

Strategic Real Estate Services

**FOR LEASE - \$900 /mo.
1,285 +/- SF Retail / Office
Unit #11**

419 Palmer Avenue, Falmouth, MA



- Well Established Commercial Location
- Ample Parking, 70+ spaces
- Prominent Visibility, High Traffic Area
- Proximity to Falmouth Hospital & Rte. 28

HARTEL REALTY

230 Jones Road, Unit 6, Falmouth, MA 02540

Main: (508) 444-0172 ♦ Cell: (617) 256-3169 ♦ Fax: (508) 548-2995

email: greg@hartelrealty.com

www.hartelrealty.com



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Executive Summary

| | |
|-------------------|------------------------------------|
| Property Address: | 419 Palmer Avenue, Falmouth, MA |
| Unit # | 11 |
| Property type: | Retail/Office |
| Rent: | \$900 /mo. |
| Lease Type: | Gross |
| Date Available: | Immediate |
| Unit Size: | 1,285 +/- SF |



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Detailed Summary

| | |
|---------------------------------------|-------------------------------|
| Total Room Count in Unit | 3 |
| Private or Common Bathrooms | Private |
| Floor Levels | First and Second floors |
| Total Number of Parking Spaces | Lower level/back |
| Parking Reserved for Unit | Ample public 70+ spaces |
| Number of curb cuts | 2 |
| Town Sewer or Private Septic | Town |
| Town Water or Well | Town |
| Basement Type | Full |
| Basement Storage for Tenant? | Yes |
| Heating Type | Gas FHA |
| Air Conditioning | Yes |
| Sprinklers | Yes |
| Utilities | Tenant pays electric and heat |

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Detailed Summary

| | |
|------------------------------|-------------------------------|
| Overhead Doors | None |
| Ceiling Height | 8' 6" |
| Ceiling Type | Drop |
| Flooring | Carpet |
| Building Construction | Wood Frame |
| Gutters (Y/N) | Yes |
| Siding | Wood |
| Roof Type | Asphalt |
| Windows | Palmer Ave. side |
| Handicap Access | Yes |
| Additional Features | Two closets, private bathroom |
| Maximum contiguous SF | 1,285 +/- |

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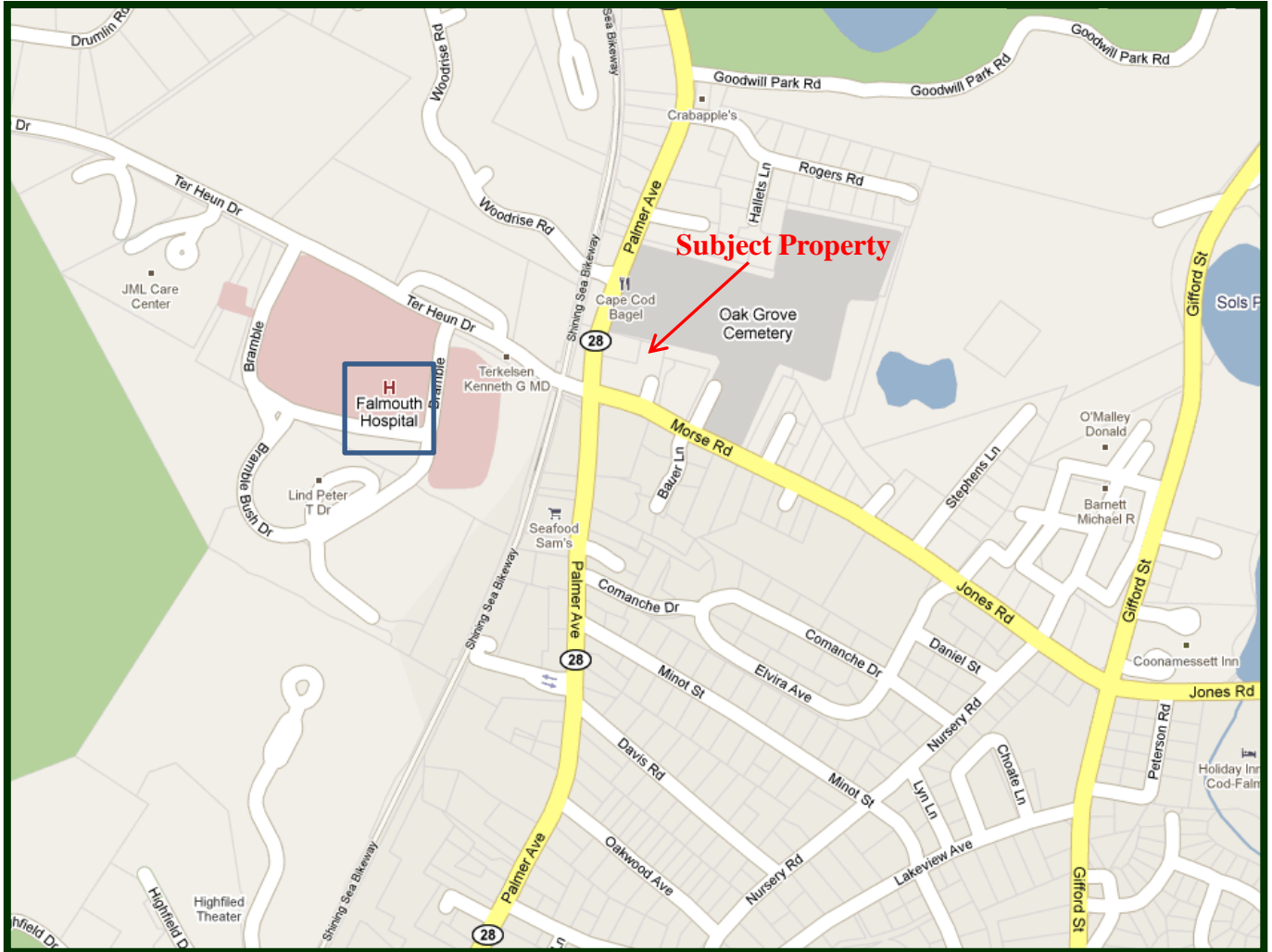
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Area Map



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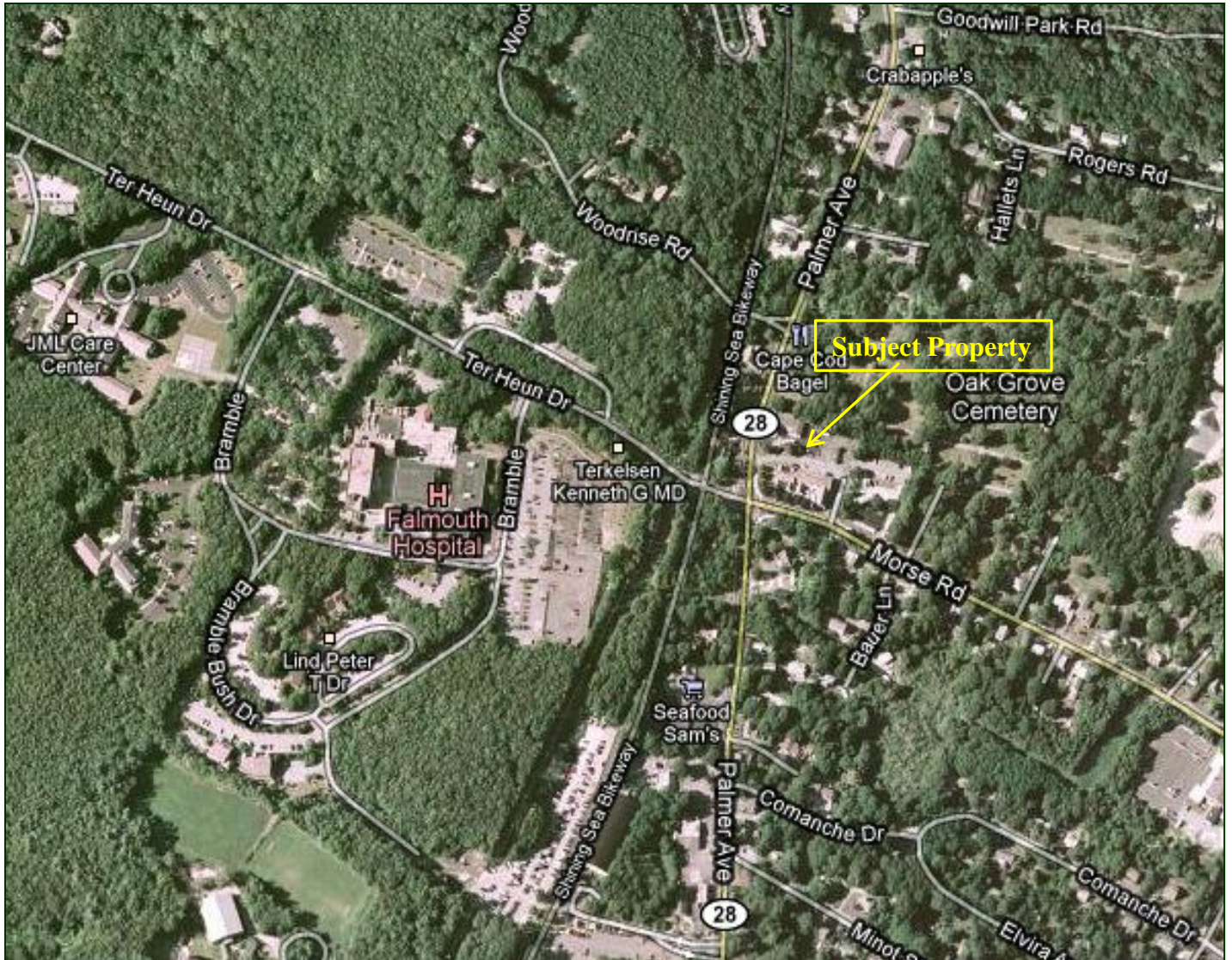
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Aerial Map



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Property Description

General Site Overview:

419 Palmer Avenue is located on Route 28 in Falmouth, at the intersection of Jones Road. Diagonally across the street is Falmouth Hospital, a 95 bed facility that shares a campus with the JML Care Center, Heritage Assisted Living, the VNA of Cape Cod and a physician office complex. Directly west, is the Shining Sea Bikeway, which winds 3.3 miles through Falmouth and is utilized by commuters of Falmouth Hospital, as well as local and tourist bikers. Main Street Falmouth is one mile to the south and is a lively town center, with a variety of restaurants and retail as well as spas, specialty shops and fine boutiques.

Complex Description:

419 Palmer Avenue is a single building with Cape Cod Bagel restaurant occupying the main part of the first floor, along with four other first floor suites. The second floor houses 11 units. Current occupants include: Norton Associates, Baystate Appraisal, Salubria Massage and Real Estate Associates, among others. There are 70+ parking spaces, with 3 additional handicap spaces.

Unit Details:

Unit #11 is a 1,285 +/- SF unit, with three bright rooms, two on the first floor and one large second floor room. Previously used as a real estate office. The unit comes equipped with two closets and a private bath. The unit has two entrances, front and back and offers ample parking. Perfect for office or retail use.

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Unit Photos



First floor, showing stairs to second level



First floor, showing back door

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Unit Photos



View of front of unit from back door



View of front of unit from hallway



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Exterior Photos



Jones Road Entrance



Rear of Building



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Floor Plan

First Floor

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