



HARTEL REALTY

Strategic Real Estate Services

**FOR LEASE - \$1,350/mo.
1,285 +/- SF Retail / Office
Unit #11**

419 Palmer Avenue, Falmouth, MA



- Well Established Commercial Location
- Ample Parking, 70+ spaces
- Prominent Visibility, High Traffic Area
- Proximity to Falmouth Hospital & Rte. 28

HARTEL REALTY

230 Jones Road, Unit 6, Falmouth, MA 02540

Main: (508) 444-0172 ♦ Cell: (617) 256-3169 ♦ Fax: (508) 548-2995

email: greg@hartelrealty.com

www.hartelrealty.com



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Executive Summary

Property Address:	419 Palmer Avenue, Falmouth, MA
Unit #	11
Property type:	Retail/Office
Rent:	\$1,350 /mo.
Lease Type:	Gross
Date Available:	Immediate
Unit Size:	1,285 +/- SF



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Detailed Summary

Total Room Count in Unit	3
Private or Common Bathrooms	Private
Floor Levels	First and Second floors
Total Number of Parking Spaces	Lower level/back
Parking Reserved for Unit	Ample public 70+ spaces
Number of curb cuts	2
Town Sewer or Private Septic	Town
Town Water or Well	Town
Basement Type	Full
Basement Storage for Tenant?	Yes
Heating Type	Gas FHA
Air Conditioning	Yes
Sprinklers	Yes
Utilities	Tenant pays electric and heat

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Detailed Summary

Overhead Doors	None
Ceiling Height	8' 6"
Ceiling Type	Drop
Flooring	Carpet
Building Construction	Wood Frame
Gutters (Y/N)	Yes
Siding	Wood
Roof Type	Asphalt
Windows	Palmer Ave. side
Handicap Access	Yes
Additional Features	Two closets, private bathroom
Maximum contiguous SF	1,285 +/-

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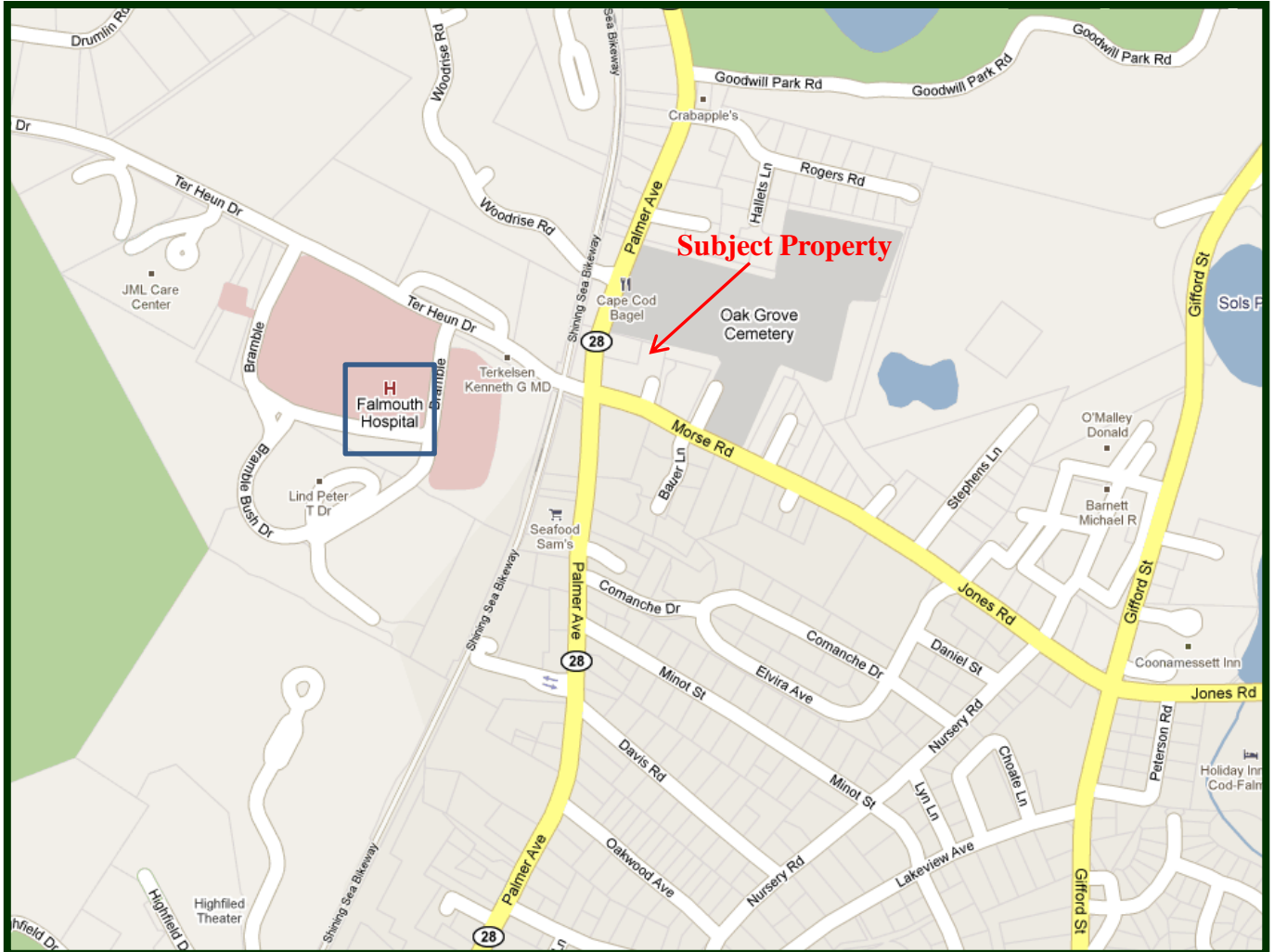
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Area Map



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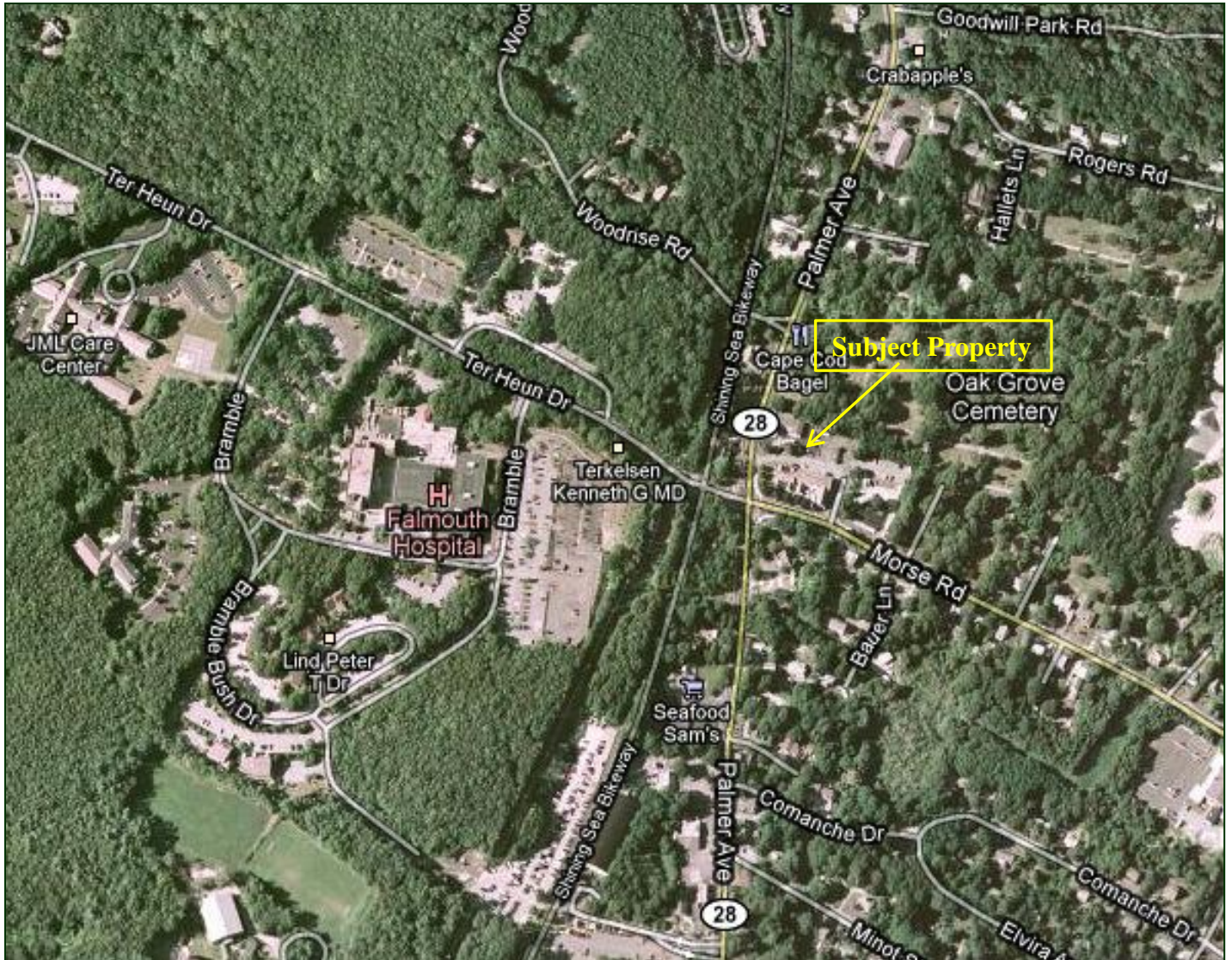
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Aerial Map



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Property Description

General Site Overview:

419 Palmer Avenue is located on Route 28 in Falmouth, at the intersection of Jones Road. Diagonally across the street is Falmouth Hospital, a 95 bed facility that shares a campus with the JML Care Center, Heritage Assisted Living, the VNA of Cape Cod and a physician office complex. Directly west, is the Shining Sea Bikeway, which winds 3.3 miles through Falmouth and is utilized by commuters of Falmouth Hospital, as well as local and tourist bikers. Main Street Falmouth is one mile to the south and is a lively town center, with a variety of restaurants and retail as well as spas, specialty shops and fine boutiques.

Complex Description:

419 Palmer Avenue is a single building with Cape Cod Bagel restaurant occupying the main part of the first floor, along with four other first floor suites. The second floor houses 11 units. Current occupants include: Norton Associates, Baystate Appraisal, Salubria Massage and Real Estate Associates, among others. There are 70+ parking spaces, with 3 additional handicap spaces.

Unit Details:

Unit #11 is a 1,285 +/- SF unit, with three bright rooms, two on the first floor and one large second floor room. Previously used as a real estate office. The unit comes equipped with two closets and a private bath. The unit has two entrances, front and back and offers ample parking. Perfect for office or retail use.

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Unit Photos



First floor, showing stairs to second level



First floor, showing back door

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Unit Photos



View of front of unit from back door



View of front of unit from hallway

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Exterior Photos



Jones Road Entrance

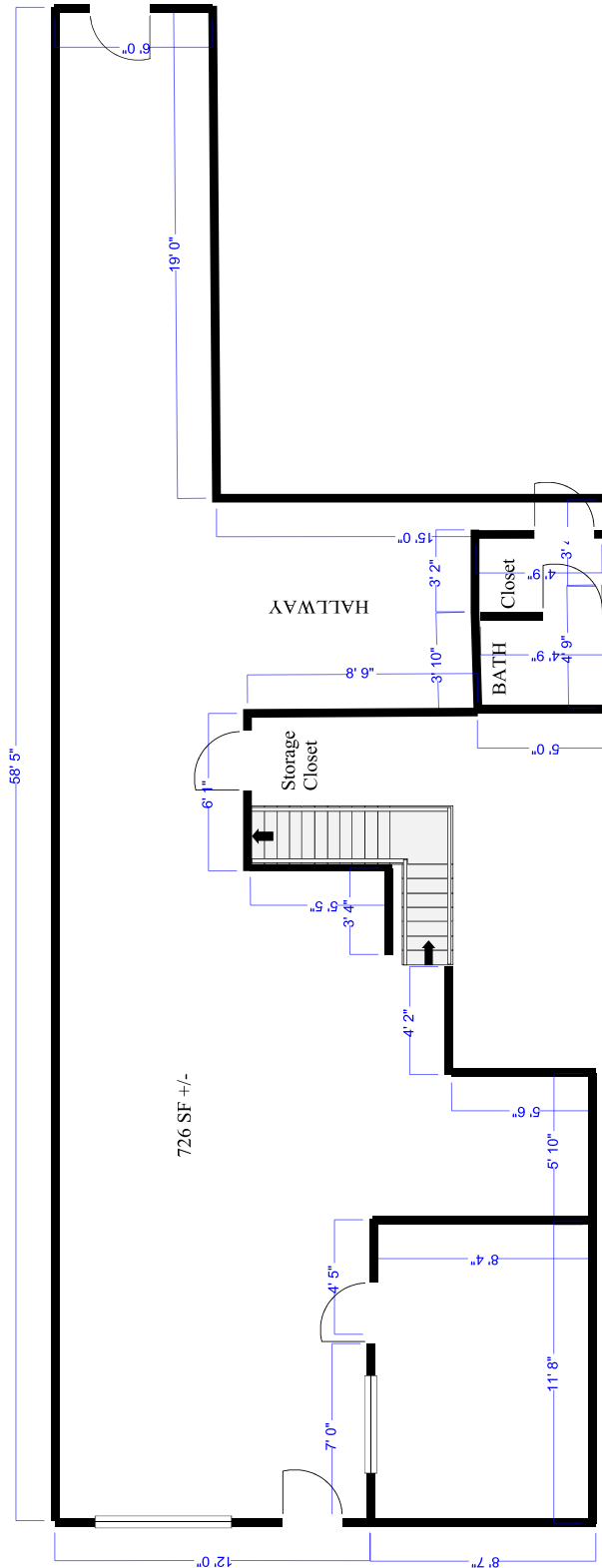


Rear of Building



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Floor Plan

First Floor

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